

CAPE GEORGE COLONY CLUB

61 CAPE GEORGE DRIVE
PORT TOWNSEND, WA 98368

PHONE: (360) 385-1177
FAX: (360) 385-3038

**FILLS, EARTHWORK, PERC TEST HOLES, CULVERTS & DRAINAGE
PERMIT APPLICATION**

Name: Jen Rubinowitz		Date: 10/15/2020
Mailing Street Address: 350 Castellano Way	City: Port Townsend	State & Zip WA, 98368
Telephone No. (day): 360-774-0130	Telephone No. (evening):	
Contractor: Shold excavating 360-385-0480		
Legal Location: <input type="checkbox"/> Colony <input checked="" type="checkbox"/> Village <input type="checkbox"/> Highlands	Lot No. 23	Div No. 4 Blk No.: _____
Street Name and No.: 51 Maple Drive		

Nature of work requested: (Please attach a rough sketch of project, showing approximate distance to nearest property corner.)

Install new culvert between existing driveway culverts to accommodate drainfield installation. See attached septic plan and revisions to section 2-C of this permit, which are required to meet health district regulations.

Please answer the following questions	Yes	No
Will this project lie within 25 feet of the Club right-of-way?	✓	
Will this project lie within 5 feet of adjacent property line?		✓
Will this project require cutting into roadway or shoulder?		✓
Will this project involve tightlines entering or crossing over Club property? (if yes, please answer questions on reverse.)		✓
Contact Building or Road Committee Chair upon completion of your project	✓	

Owner's Signature: *Jen Rubinowitz* for **J. Rubinowitz** Date: **10/15/20**

----- CLUB USE ONLY -----

We have reviewed this application and recommend	Approval <input checked="" type="checkbox"/>	Disapproval <input type="checkbox"/>
• Reason for disapproval:		
Building Committee (signature): <i>[Signature]</i>	Date: 10/26/2020	Or Road Committee (signature): Date:

We have inspected this project and certify it in compliance with Club Regulations.				
Building Committee (signature):	Date:	Or	Road Committee (signature):	Date:

****install new culvert between existing driveway culverts as shown to maintain 30' setback from temporary water (ditch).**
-12" HDPE double walled (or equivalent), attached with appropriate fittings to existing driveway culverts.
-Backfill with native soil to top of culvert, and follow cape george requirements for remaining backfill / cover (refer to permit application attached).

Project scope: -Install 240 GPD conforming septic system for proposed new 2 bedroom replacement home.

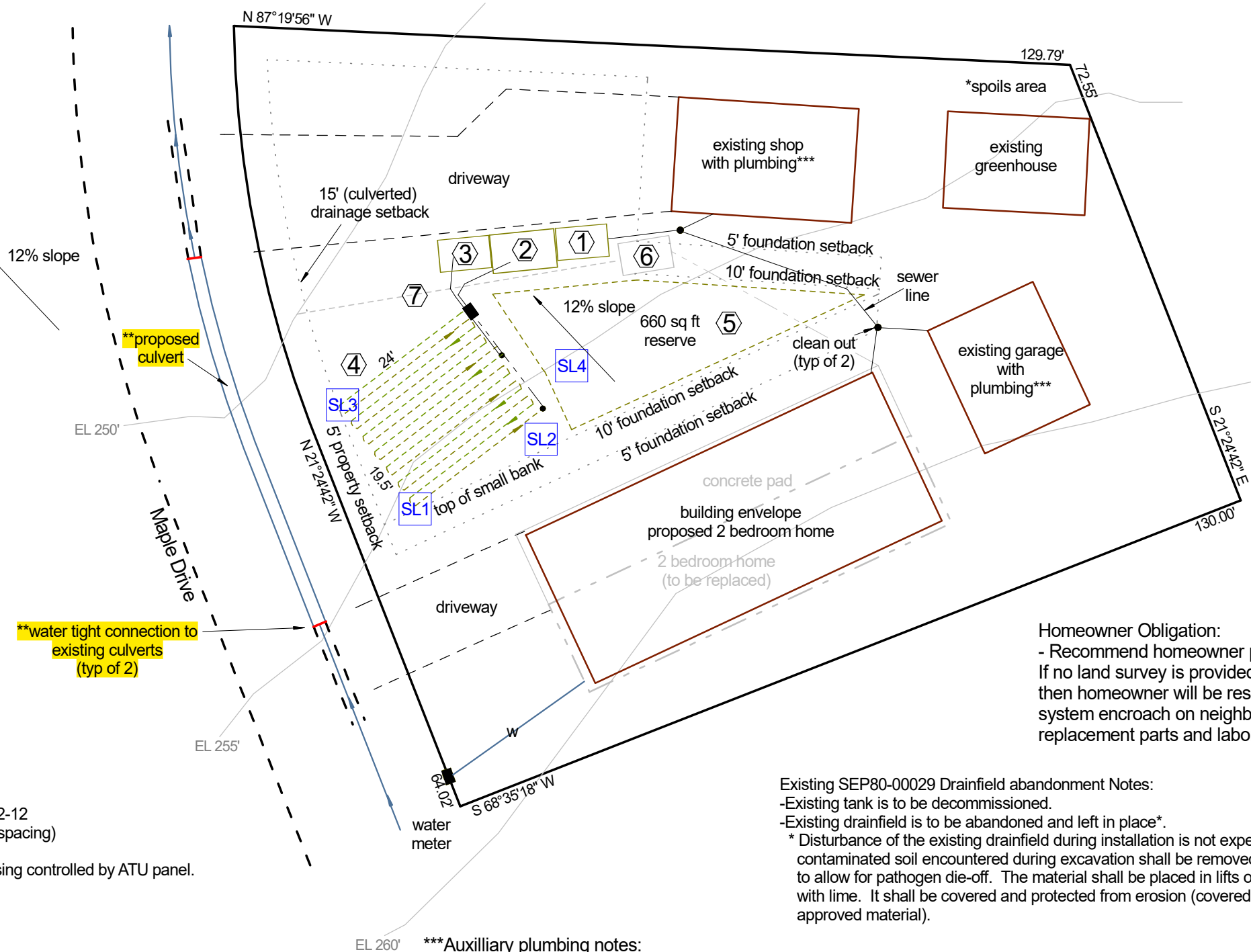
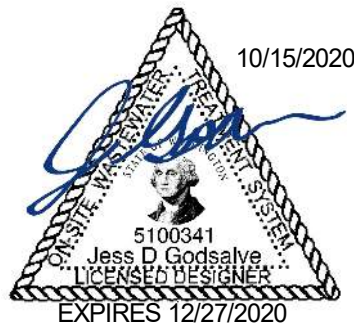
Elevations Approximate



SCALE 1"=20 FEET

- Buildings
- Contours
- - - Drainfield
- Vegetation
- Property line
- - - Set backs
- SL Soil logs
- Water

Elevations:
 FF- 262'
 Stub EL- 260.5'
 ST IE- 253'
 Pump on- 250'
 DF IE- 255'



- Proposed OSS Components:** - see detail
- 1-Minimum 1000 gallon two compartment trash tank. Risers to surface required. Observe 5' minimum setback from foundation.
 - 2-Nuwater BNR-500 Aerobic Treatment Unit
 - 3-1000 gallon pump tank with effluent pump per specifications. Screened vault, and riser to surface required.
 * All tanks must be on current WSDOH approved list.
 - 4-336 LF drip irrigation drainfield with 1/2" PC emitters at 1' spacing. 1.5' dripline spacing. 6" burial depth, 6" cover material. Observe 10' setback from foundation and water line in addition to 5' minimum setback from the property lines.
 * return line to 2nd compartment of ATU.
 - 5-100% Reserve Drainfield Area
 - 6-750 gallon septic tank SEP80-00029 (to be abandoned)
 - 7-2 bedroom drainfield SEP80-00029 (to be abandoned)

Homeowner Obligation:
 - Recommend homeowner provide survey or mark property boundary lines prior to installation. If no land survey is provided to designer or installer, then homeowner will be responsible for costs of restoring affected lot/s should the septic system encroach on neighboring property. Homeowner will also be charged for replacement parts and labor used towards restoring drainfield should it need to be moved.

Material Specifications:
 sewer line - 4" PVC ASTM 3034
 pump line - 1" PVC SCH 40
 fittings - PVC SCH 40
 supply / return lines - 3/4" PVC SCH 40
 drip tubing - 336 LF Geoflow WFPC 16-2-12 (1/2" PC with emitters at 1' spacing)
 filter - Geoflow AP4E-1F
 control panel - manual flushing, field dosing controlled by ATU panel.

Existing SEP80-00029 Drainfield abandonment Notes:
 -Existing tank is to be decommissioned.
 -Existing drainfield is to be abandoned and left in place*.
 * Disturbance of the existing drainfield during installation is not expected, however any contaminated soil encountered during excavation shall be removed and placed as shown in the design to allow for pathogen die-off. The material shall be placed in lifts of no more than 6"-8", each lift covered with lime. It shall be covered and protected from erosion (covered with 6 inches of uncontaminated soil or other approved material).

Site Development Notes:
 - Property boundaries taken from Cape George Village Div 4 long plat. Elevations scaled from Jefferson County GIS and are approximate.
 - Protect Drainfield Areas from vehicle traffic, excavation, burn piles, erosion, or any other soil disturbing activities.
 - Installation shall conform to plan specifications, applicable county and state regulations, and industry standards. Any deviation / substitution must be approved by designer and/or JCPH prior to installation.

*****Auxilliary plumbing notes:**
 -Lower shop building utility sink has been removed.
 -Upper outbuilding has laundry facilities only.
 -No kitchen facilities, utility sinks, or any plumbing not related to bathroom / laundry allowed.
 -This system is sized for a 2 bedroom single family residence only. It is not sized for additional bedrooms within the residence or sleeping areas in outbuildings. Any future use of this type will constitute a violation of the septic permit.

REV 10/15/20	OSS SITE PLAN		
	RIALTO ARANSAS REALTY INC Parcel # 940 800 023 51 MAPLE DR - PORT TOWNSEND SEC 13 TWP 30N R 2W		